

# Architectural Design Guidelines

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## Architectural Design

# General Provisions and Exterior Walls

## General Provisions

- When masonry is used on front facades, it shall be required on the side facades. Vinyl or cementitious board siding may be used on the rear. See *Figure 1*.
- Garage doors shall have a light mounted for safety. In front-loaded garage conditions there shall be two wall sconces mounted on opposite ends of the door. In rear-loaded garage conditions garage doors shall either have two wall sconces or a single light, centered and mounted above the door.
- When shutters are used, they shall be required on all facades facing a public street or open space.
- All townhouses shall have a watertable.
- No less than 70% of all townhouses shall have full brick front elevations and shall be mixed throughout the community.

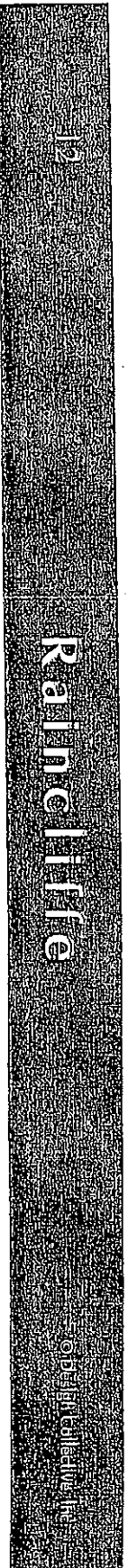
## Exterior Walls

### Construction Materials:

- Exposed Foundation walls on facades fronting public right-of-ways and/or private roadways (not to mean alleys) shall be stone or brick.
- Exposed Foundation walls on all other facades shall be at a minimum poured concrete with a brick pattern and painted finish to match or coordinate with the siding or trim colors. No concrete with a brick pattern shall be painted as though to look like "real" brick with colored mortar joints.
- Walls may be stone, brick, stucco, cedar shingles, wood clapboard, wood or vinyl beaded siding or cementitious siding.
- Trim may be wood, cementitious fiber board, fiberglass composite, polymer composite or solid PVC.

### Configurations:

- A horizontal definition of the base of water table through change in plane, brick shape, color or pattern is required. Building walls between the foundation and the eave shall be no more than two materials. Material changes shall occur along a horizontal line. Additionally, the lighter material shall be used above the heavier materials. If special brick patterns, precast shapes, or trim are used it must occur at the sill or finished floor lines. See *Figure 2*.



## Exterior Walls

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### Configurations (cont'd.)

- Brick shall be a minimum of 3 courses below finished grade and stone veneer shall be at or 8" below finished grade.
- Wall materials shall be oriented horizontally.
- Walls of cedar shingles, wood clapboard, wood or vinyl beaded siding or cementitious siding shall have all openings trimmed in boards 2"-4" nominal width and corners trimmed in boards of 4"-6" nominal width. Doors may have wider trim.
- Walls of masonry shall have all openings trimmed in wood or simulated wood brick mould. Lintels and sills shall be made of brick, stone or precast.
- Cornices are required with a minimum 10" nominal base trim. Decorative trim (mouldings) may be applied to the cornice. *See Figure 3.*
- Rake returns are required and shall be a minimum of 2 feet in length at open gable ends and shall have a hipped roof return of standing seam metal, asphalt or cedar shake shingle. *See Figure 4.*
- With vinyl siding, vinyl trim shall be used with integral j-channel to eliminate exposed j-channel on facades fronting public right-of-ways and/or private roadways (not to mean alleys).
- Trim is required where there is a change in material or a change in plane. A minimum 10" nominal band board is required where siding meets foundation wall.
- Where Watertable height exceeds 5' above grade, windows, vents, or brick relief shall be provided. *See Figure 5*

### Construction Techniques:

- Wood shingles shall be stained.
- Wood clapboard, wood siding, and cementitious siding shall be painted.
- Butt joints may be caulked or covered and shall be painted to match the siding color.
- Brick shall be in a horizontal running, flemish bond, or common bond pattern with weathered, concave, V-shaped or grapevine mortar joints not greater than 1/2" in height. Patterned brick detailing and special brick shapes may be used. *See Figure 6*
- Mortar shall be buff, beige, warm grey or similar color.
- Stucco shall be sand finished or steel trowelled-textured.
- Stone shall be set in an uncoursed rough-cut pattern or irregular coursed square-cut pattern. *See Figure 7*
- Vinyl siding shall have a smooth or brushed finish and shall be of a high-grade vinyl. (.042" thickness or greater)

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## Building Elements

### Building Elements

#### Construction Materials:

- Columns and posts shall be made of stone, brick, wood, polymer composite or fiberglass.
- Porch guard railings shall be wrought iron, painted wood, or solid PVC.
- Walking surfaces of porches may be concrete, brick, wood, or simulated wood, such as "Trex" deck or equal. Masonry porches and steps shall have masonry pavers.
- Stoops shall be brick, stone or concrete. Steps shall be stone, brick or concrete. Wood or simulated wood may be used at secondary entrances.
- Front stoops shall be stone or brick unless the building has a wood or simulated wood front porch in which case wood or simulated wood steps would be appropriate. Wood or simulated wood may be used at secondary entrances.
- Stoop and other metal railings shall be made of steel, wrought iron or electro-static painted (ESP) aluminum.
- Decks shall be framed with pressure-treated wood. Simulated wood such as "Trex" deck or equal shall be used on walking surfaces only.
- Deck rails shall be solid PVC or PVC with aluminum sleeves over wood supports.
- Lattice shall be wood or vinyl.
- Piers and arches shall be brick, stone or decorative block.
- Sills shall be rowlock brick, sill brick or solid PVC.
- Chimney enclosures shall be stone, brick or vinyl.
- Flues shall be tile, terra cotta or metal.

#### Configurations:

- Decks shall be placed in rear yards and shall be supported by posts.
- The undercroft of wood or simulated wood porches shall be skirted with lattice having openings 1-1/2" square maximum. Lattice shall be placed behind the surface of the pier and framed with trim. *See Figure 9.*
- Porches shall be a minimum of 8' in depth. Porch openings between columns and piers shall be vertical in proportion.
- Balconies shall project a minimum of 12" from an exterior wall surface.
- Chimney enclosures shall extend from grade to a minimum of 2' above the roof surface.
- Wood posts shall be no less than 6" nominal in width or depth and may be chamfered at the corners.
- Masonry openings shall have brick arches, jack arches, or stone/precast lintels. *See Figure 8.*
- Arches made of masonry shall not be less than 8" in thickness.

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## Building Elements

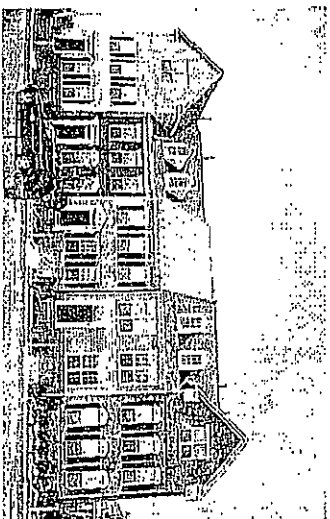
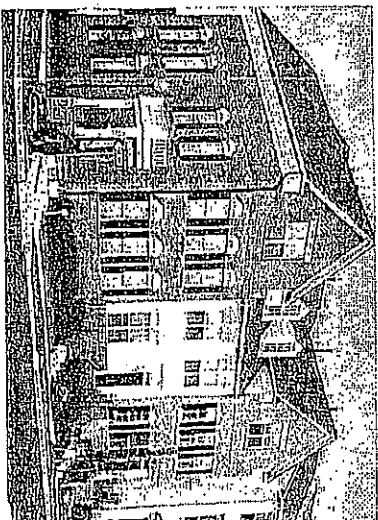
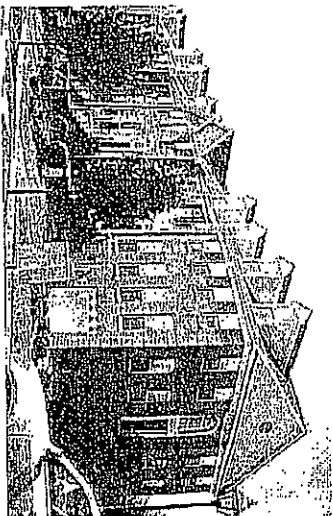
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### Configurations (cont'd):

- Piers made of masonry shall be no less than 12" in width and 8" in depth and integral when used with a column or post.
- Columns, pilasters, etc. shall be of the Tuscan or Doric orders as prescribed by *The American Vignola*.
- The neck of a column shall align with the face of the entablature above. *See Figure 9.*
- Parapet newell posts shall align with the columns, posts, or pilasters below (centerline to centerline)
- Ballusters shall not exceed 4-1/2" on center. *See Figure 9.*
- Lintels made of cast stone or precast shall extend horizontally beyond the opening a dimension equal to the height of the lintel. Precast lintels shall be flush with the wall surface. Brick soldier lintels shall extend a minimum of one brick beyond the opening. *See Figures 8 & 10.*
- With vinyl siding, half round columns or pilasters shall have a trim board between the column or pilaster and the wall that has been routed to accept J-channel.

### Construction Techniques:

- Wood shall be painted or stained, except walking surfaces which may be left unfinished.
- Railings of steel or wrought iron shall be painted black or dark green. Electro-static painted (ESP) aluminum shall be black or dark green.



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## Roofs

### Roofs

#### Construction Materials:

- Roofs may be standing seam metal, copper, cedar shakes, slate, artificial slate or architectural grade asphalt shingles.
- Gutters shall be built of copper, steel or aluminum. (Copper anodized aluminum is not permitted).
- Splash blocks shall be stone, brick, gravel, concrete, vinyl or fiberglass.
- Glazing in windows, skylights and stained-glass shall be glass.

#### Configurations:

- Roofs (with the exception of interior lot townhouses) shall overhang a gable end a minimum of 12" measured from the face of fascia board to face of building wall and shall have standing seam metal on a closed gable return. *See Figure 11*
- Roofs shall be simple and symmetrically pitched, and only in the configuration of gables, hips, and mansards. Shed roofs may be used on secondary massing elements and dormers.
- The pitch of the roof shall be between 8:12 and 14:12.

#### *See Figure 12.*

- No more than 40% per stick of buildings shall be forward facing gables. *See Figure 13*

- (1) All Front facing gables shall be the full width of the facades; no partial gables:

- (2) If forward facing gable is used at the end of a group, the gable shall be turned through the entire building.

- Eaves shall have no more than six outside corners.

#### *See Figure 14.*

- Shed roofs on massing elements shall have the ridge attached to an exterior building wall and have a maximum pitch of 3:12.

- Flat roofs are permitted only when they are occupiable, accessible and edged by a railing or parapet.

- Rake returns (with the exception of interior lot townhouses) are required at gable ends and shall have 2' minimum return of cornice trim (see also Exterior Walls). *See Figure 4.*

- Gable ends shall have profile trim.

- Skylights and solar panels shall be flat in profile and not visible from any public right-of-way or private roadway.

- Vents, attic ventilators, turbines, flues and other roof penetrations shall be collected or grouped when possible and relegated to the rear roof elevations.

#### Construction Techniques:

- Roofs built of standing seam metal shall be copper, painted or galvanized.

- Vents, attic ventilators, turbines, flues and other roof penetrations shall be painted to match the color of the roof except those that are galvanized which may be left natural.

- Gutters and downspouts made of metal shall be painted or prefinished to match the color of the adjacent material finish. Galvanized or copper downspouts shall be permitted to age naturally. Gutters and downspouts made of metal on elevations with full unpainted brick or stone shall be painted or prefinished a color to match the trim or made of copper.

## Doors and Windows

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### Doors and Windows

#### Construction Materials:

- Windows shall be wood, extruded aluminum clad, fiberglass, vinyl or vinyl clad.
- Glass shall be clear and free of color. Stained glass, art glass, or frosted glass may be used as a transom or side lite at the front entry only.
- Shutters shall be wood, solid PVC or vinyl.
- Doors shall be built of wood, embossed steel, or fiberglass.
- Garage doors shall be built of wood, embossed hardboard, embossed steel, or fiberglass.

#### Configurations:

- One window on each frontage facade (a facade fronting a public right-of-way) may be circular, semi-circular, hexagonal, or octagonal in shape. Windows may be quarter-circular in shape when paired in a gable end. *See Figure 15.*
- Windows shall align vertically within any given facade. *See Figure 15.*
- Windows and window lites shall be square or vertical in proportion. *See Figure 16.*
- Windows shall be true divided light or simulated divided light.
- Window transoms shall be consistent, either arch-top, circle-top, or rectangular, not mixed.
- Total fenestration (rough window openings) on frontage facades (not including a tower element above the eave) shall not exceed 40% of the total surface area. *See Figure 17.*
- Two windows paired in the same rough opening shall be separated by a minimum 4" nominal post (mullion). *See Figure 18.*
- Bay windows on frontage facades shall extend to the ground or be structurally supported by brackets. *See Figure 19.*
- Single glass panes shall be no larger than 20 square feet.
- Windows shall be no closer than 2' to building corners, except where windows are paired, one on each wall at the corner with a maximum 8" nominal post or within sunrooms or solariums.
- Shutters shall be applied to all or none of the windows on any given facade and shall be shaped, sized and proportioned to the windows they serve. Paired or unique windows may have shutters if the facade includes shutters for the other windows.

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## Doors and Windows

### Configurations (cont'd):

- Shutters shall be operable or provided with adequate hardware (shutter dogs or tie-backs) to make them appear operable and shall be mounted as if hinged to the window frame or brick surround.-Doors shall be attached by hinges.
- Storm doors and screen doors shall be full view and free of decorative trim. *See Figure 20.*
- Exterior doors shall be a minimum of 3' x 6'-8" with raised panels. *See Figure 21*
- Garage doors shall not exceed 8' in height or 9' in width. Garage doors facing a public right-of-way or private roadway shall be architectural grade. *See Figure 22.*
- Garage doors shall have a light mounted for safety. In front-loaded garage conditions there shall be two wall sconces mounted on opposite ends of the door. In rear-loaded garage conditions garage doors shall either have two wall sconces or a single light, centered and mounted above the door.

### Construction Techniques:

- Windows shall be single-hung, double-hung, triple-hung, casement, hopper, or fixed.
- Doors, including garage doors, shall have glass, raised panels or both.

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## Frontage and Yard

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### Frontage and Yard

#### Construction Materials:

- Front yard hedges are permitted when there is at least 8 feet of lawn between the sidewalk and building face or porch. *See Figure 23*
- Rear yard privacy fences shall be wood, solid PVC, steel, wrought iron, ESP aluminum or vinyl with aluminum or wood supports. *See Figure 24 and 25*
- Garden walls shall be stone or brick.
- Retaining walls shall be stone or brick along any public right-of-way or private roadway. Retaining walls not along a public right-of-ways or private roadway may be poured concrete, stamped concrete, split-faced concrete block or pressure treated wood.
- Lead walks and paths to houses shall be stone, brick, slate, concrete pavers or concrete.
- Walks shall be stone, brick, slate, concrete pavers, or concrete. Paths may be bituminous concrete or stone dust. Mulch may be used on pathways if recommended by a regulatory agency.
- Driveways may be asphalt, brick pavers, concrete pavers or concrete.
- Decks shall be framed out of pressure treated lumber.
- All walking surfaces on Decks shall be simulated wood such as "Trex" deck or equal and shall be a gray tone in color.
- Deck rails, posts, caps, and balusters shall be white vinyl.
- Exposed hand boards and stair carriages must be covered with wood painted white or solid PVC painted white.
- Support posts shall be wrapped in painted wood, solid PVC or have a PVC sleeve, or treated lumber.
- Privacy fences are permitted on interior property lines and shall not exceed 6' tall; above 5' must be partially open. *See Figure 24 and 25*
- Privacy fences may be pressure treated wood painted white, or white vinyl.

#### Configurations:

- Terminal posts in fence (corners, property line corners, openings, ends, etc.) shall be wider and taller in proportion than other posts or pickets.
- Fence posts shall be spaced evenly with 8' maximum spacing between posts.
- Piers may be brick or stone.

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### Frontage and Yard

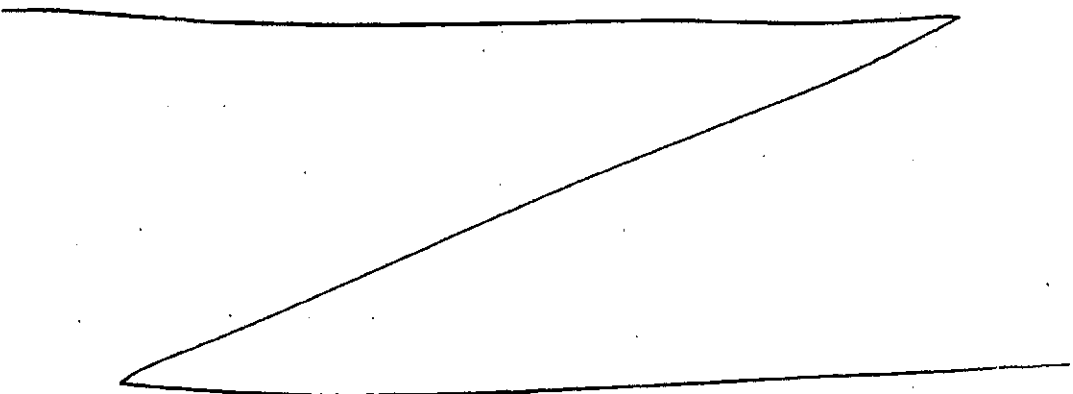
#### Configurations (cont'd):

- Fences and garden walls facing public right-of-ways shall be between 32" and 48" in height with pickets between 32" and 42" and terminal posts up to 48" maximum. Fences and garden walls in rear and side yards shall be a maximum of 6' in height including any lattice or spaced picket portion in fences. *See Figures 25*
- Spacing between fence pickets shall be no greater than 2/3 the width of the picket.
- Dooryard walls shall not exceed 24" in height.
- Brick piers, gates, and decorative posts may mark the pedestrian entry to the private yard. Openings shall be no greater than 48" clear in width for fences and 60" clear in width for garden walls. Private yard paths shall connect with public sidewalks and driveways. *See Figure 25*
- A single wood or brass plaque with house number and address, not greater than 16" dia. or square, may be attached to the fence post or gate or to the garden wall pier or gate. Height of the letters shall be 3" maximum.
- Decks facing an alley way shall be 12' x 16'max
- All decks may have a privacy fence as part of the railing up to 6' from the unit. *See Figure 26*
- Decks not facing an alleyway may have steps leading to grade.
- Posts for railings may not be attached to the exterior band and must come up through the floor of the deck.

#### Construction Techniques:

- Fences built of wood shall be painted white, off-white, or dark green or stained white with an opaque stain.
- Fences built of steel, wrought iron, or aluminum ESP shall be painted black or dark green.
- Garden and dooryard walls of stone, or brick, or straight-faced concrete block shall be no less than 8" wide and capped in a dressed coping stone 1-1/2" to 3" thick, rowlock course of brick, shaped brick, or cap stone. The cap shall overhang the wall. *See Figure 27.*
- Poured concrete retaining walls shall have a smooth or stamped finish.

# Landscape Design



## Landscape Design

### General Provisions

The following landscape design criteria shall apply to all development within Raincliff shown within the boundaries of the approved plan. The landscape design criteria is a supplement to the landscape requirements as defined in the Town of Sykesville Landscape Manual and is NOT in lieu of. Where a discrepancy exists, the Town of Sykesville Landscape manual shall apply. The following landscape design criteria may suggest a change in plant material and/or additional plant material as shown on the approved landscape plans. In some instances, plants may be relocated or repositioned to better meet these design criteria without changing quantities, sizes, or species. Where any changes are suggested, these must be approved by the Town of Sykesville.

The purpose of the landscape design criteria is as follows:

1. To protect, preserve, and enhance the appearance of the neighborhood;
2. To enhance the character and function of the public realm and public spaces for both planned and spontaneous social interaction;
3. To reinforce the streets and sidewalks as an important public space for cars, bicycles, and pedestrians alike;
4. To reinforce the streets as important connections to and within the neighborhood;
5. To provide a clear distinction between public and private (or semi-private) spaces and front yards.

#### Street Trees

Street trees are placed along the entirety of internal streets to reinforce the streets as an important auto and pedestrian circulation route throughout the neighborhood. A uniform placement and spacing of trees is preferred to better define the streets as an important component of the public realm and to reinforce building frontages as part of the street definition. A more formal and uniform arrangement of street trees helps provide a clear distinction and greater sense of hierarchy between the streets and the preserved, natural forested areas and other, informally planted areas. Some informal and random plantings are encouraged to provide interest.

1. Street trees shall be placed according to the final landscape plan, within planting strips between curb and sidewalk. The planting strip shall be not less than 4 feet wide; 5 feet is preferred. Trees in planting strips, between curb and sidewalk, act as an additional physical and visual buffer between pedestrians and cars while also enabling the pedestrian on the sidewalk to perceive the walk as being in a more semi-private/front yard zone as opposed to being in the street zone;
2. Tree species may vary from street to street, to provide interest and uniqueness from one street to another. Varying trees on the same street, and/or every other tree, is not preferred.
3. Trees shall be selected for their ability to adapt and survive in such space conditions. No thorn trees, trees with excessive berries, or trees with sharply pointed leaves, shall be used as street trees;
4. Street trees shall be limbed to 6 to 8 feet to allow views and site lines under the canopy.

## General Provisions

### Landscape Design

#### Foundation Plantings in Front Yards

Plantings along the foundation of buildings, both front and side yards, facing onto and visible from the street, may be either formally or informally arranged, defining the transition between public and private zone.

1. Simple is better, with variety from building to building as opposed to a great variety for each house. An evergreen and deciduous mix is encouraged. Plantings should vary, both formal and informal with appropriate transitions from house to house;
2. For houses with a tall front foundation (refer to grading plans), medium to tall shrubs should be used. Smaller shrubs are used where the foundation is shorter.
3. Low shrubs or groundcover should be used where basement and foundation windows are exposed;
4. Taller and medium-sized shrubs should be used against the foundation wall across that back of the plantings, transitioning to smaller lower shrubs, perennials, and/or groundcover towards the front;
5. Small flowering trees may be planted informally, on some, but not every, front yard to add interest;
6. Pairing vertical, conical evergreens and/or accent plants may be used to define the front door, stoop, porch, or lead walk.

#### Perimeter Landscape Edge Guidelines

A deciduous/evergreen planting, (with limited berming where naturally appropriate and/or fencing) to provide a naturalistic visual screen adjacent to existing residential areas along the boundaries of this site where there is no existing forested buffer. These minimum requirements do not need to be spread out evenly over the length of the perimeter area but, rather, should be grouped at strategic locations to create naturalistic groupings and/or clumps of diverse plant materials that effectively screen and buffer specific, adjacent areas, buildings, and views.

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## Landscaping Design

## General Provisions

### Trails

Trails are pathways for pedestrians, cyclists, and skaters that provide connections among important destinations. Trails are mostly natural in character, often constructed with such materials as concrete, asphalt, mulch, and boardwalks (for spanning waterways and environmental areas). Trails should be designed for their intended use and intensity of use, including consideration for safety, lighting, benches, and drinking fountains.

### Neighborhood Greens

Greens are moderate to small public tracts of land (typically not more than 1 acre, and often substantially less), available for unstructured recreation, often circumscribed on all sides by both building frontages and streets. The design consists primarily of trees and lawn areas, informally or formally disposed. An Informal Green includes informal plantings and groupings of trees and plant materials, randomly placed siting areas and walks and similar. A Formal Green includes a more formal arrangement of trees and plantings, deliberately aligned furniture and sitting areas, formal pathways and walks and similar. An Attached Green is circumscribed on all sides by building frontage and on at least two sides by thoroughfares; buildings face at least one side of the attached green and have an address on the green as opposed to an address on a public street. Greens also include in their composition paved walks, lawn, trees, shrub massing, furniture and ornament such as fountain or sculpture.

### Pocket Parks

Pocket Parks are small to moderate public open spaces (often only a few thousand square feet) at the intersection of important streets, between buildings along a street or sidewalk and/or at the junction of important areas, set aside for civic purpose and intense human activity. Typically circumscribed on all sides by building frontages and/or streets (although open to the street), its landscape consisting of durable pavement, furniture, ornament, decorative fountain and trees, all formally disposed.

